

# RED ROCKS CC ARVADA CAMPUS

## 10280 West 55th Avenue Reroof

**WJE** ENGINEERS  
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Philadelphia | Princeton | San Francisco | Seattle | South Florida | Washington, D.C.

**Project:** ARVADA CAMPUS  
10280 West 55th Avenue  
Arvada, Colorado 80002

**Client:** Red Rocks Community College  
13300 W. 6th Avenue  
Lakewood, Colorado 80228

**Consultant:** **Wiss, Janney, Elstner Associates, Inc.**  
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### General Scope of Work:

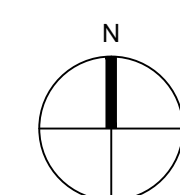
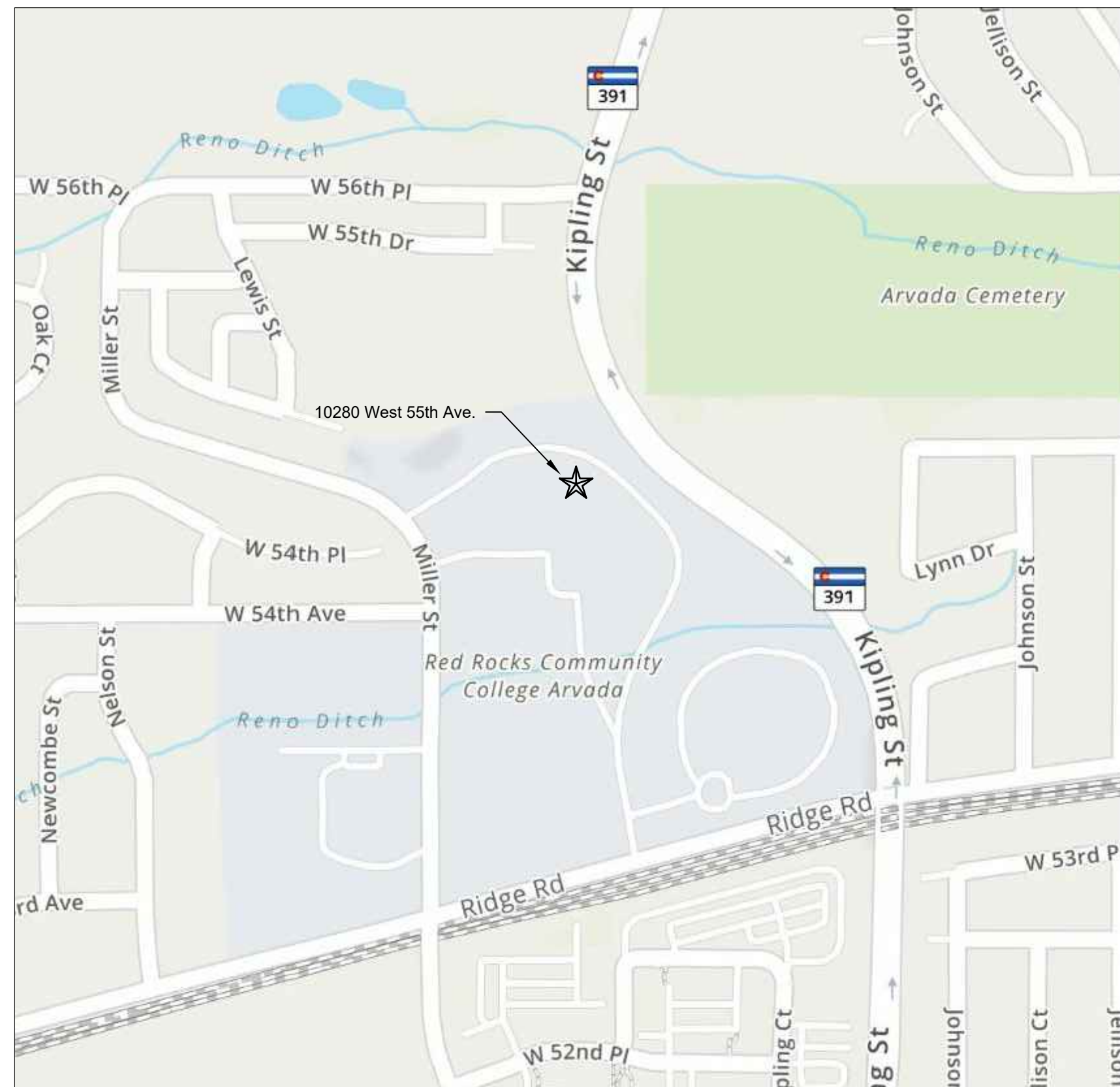
The scope of work for the removal of the existing roofing and installation of a new watertight roof system shall include, but is not limited to the following:

#### ARVADA CAMPUS - 5240 MILLER REROOF (RECOVER):

- PREPARE EXISTING EPDM FOR RECOVER BY CUTTING INTO 4 FT. X 4 FT. GRID LEAVING A 1 INCH GAP BETWEEN EACH PIECE.
- REMOVE EXISTING MEMBRANE & EPDM FLASHINGS AT PARAPET WALL, CURBS, PIPES, AND DRAINS.
- REMOVE EXISTING PRE-FINISHED SHEET METAL COPING
- CONTRACTOR SHALL PROVIDE AN EXPERIENCED LICENSED WINDOW/CURTAIN WALL CONTRACTOR TO REMOVE AND REINSTALL EXISTING ALUMINUM COPING ABOVE SOUTH CURTAIN WALL
- INSPECT AND REPLACE ANY WET, DETERIORATED OR DAMAGED POLYISO INSULATION
- CONTRACTOR SHALL PROVIDE CERTIFIED LIGHTNING PROTECTION CONTRACTOR TO REMOVE, REINSTALL, AND RECERTIFY EXISTING LIGHTNING PROTECTION SYSTEM
- FURNISH AND INSTALL NEW 1/2 INCH POLYISO OVER EXISTING INSULATION, LOOSE LAD
- FURNISH AND INSTALL NEW 1/2 INCH HIGH-DENSITY COVER BOARD, MECHANICALLY ATTACHED WITH SCREWS AND METAL PLATES
- FURNISH AND INSTALL NEW 60 MIL EPDM, ADHERED
- FURNISH AND INSTALL NEW SHEET METAL COPING, THROUGH-WALL SCUPPERS, OVERFLOW SCUPPERS AND COUNTER FLASHINGS
- PAINT GAS LINES SAFETY YELLOW
- FURNISH AND INSTALL 2 NEW WALL LADDERS AS INDICATED ON ROOF PLAN.

### General Notes:

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN FIELD. DO NOT SCALE DRAWINGS. DIMENSIONS SHOWN ON THE DRAWINGS ARE PROVIDED FOR INFORMATION ONLY.
- CONTRACTOR SHALL VERIFY ALL QUANTITIES. QUANTITIES SHOWN ARE FOR ESTIMATING PURPOSES ONLY.
- THERE SHALL BE COMPLETE COOPERATION BETWEEN THE OWNER AND SUB-CONTRACTORS TO ENSURE SATISFACTORY PROGRESS AND PERFORMANCE OF THE WORK.
- THE CONTRACTOR SHALL VERIFY EXISTING PLUMBING AND ELECTRICAL LINES AND EQUIPMENT THAT WILL BE ACCESSED AS PART OF WORK PERFORMED. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY EQUIPMENT, LABOR, MATERIALS, AND COMPONENTS REQUIRED FOR THE TEMPORARY RELOCATION OF MECHANICAL/ELECTRICAL EQUIPMENT AND PLUMBING LINES DURING THE REPAIR WORK.
- THE CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, LICENSES AND GOVERNMENT FEES AS REQUIRED. THE CONTRACTOR SHALL COMPLY WITH CODES, ORDINANCES, RULES, REGULATIONS, ORDERS AND OTHER LEGAL REQUIREMENTS OF PUBLIC AUTHORITY, WHICH BEAR ON THE PERFORMANCE OF THE WORK.
- CONTRACTOR SHALL PROMPTLY SUBMIT VERBAL AND WRITTEN NOTICE TO THE CONSULTANT (DESIGNER-OF-RECORD) OF OBSERVED VARIANCE OF THE CONTRACT DOCUMENTS FROM ACTUAL ON-SITE CONDITIONS.
- CONTRACTOR SHALL SUPPLY THE OWNER WITH MATERIAL SAFETY DATA SHEETS (MSDS) FOR EACH MATERIAL THAT WILL BE BROUGHT ONTO THE JOB SITE AND SHALL COMPLY WITH THE REQUIREMENTS OF THE OSHA HAZARD COMMUNICATION STANDARD.
- THE CONTRACTOR MUST SUBMIT DEMOLITION AND CONSTRUCTION SCHEDULES TO THE OWNER AND CONSULTANT FOR APPROVAL PRIOR TO BEGINNING DEMOLITION.
- THE PRODUCTS SPECIFIED ARE BELIEVED TO HAVE PROPERTIES ADEQUATE FOR SUCCESSFUL COMPLETION OF THE WORK. IF THE CONTRACTOR HAS FOUND THESE PRODUCTS TO BE UNACCEPTABLE OR HAS HAD DIFFICULTY USING THESE MATERIALS, THE CONTRACTOR SHALL IMMEDIATELY INFORM THE CONSULTANT.
- WISS, JANNEY, ELSTNER ASSOCIATES, INC. (WJE) OR THE OWNER SHALL NOT HAVE CONTROL OVER OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND SAFETY PROGRAMS IN CONNECTION WITH THE PROJECT. SINCE THESE ARE THE RESPONSIBILITY OF OTHERS, WJE SHALL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S SCHEDULES OR FAILURE TO CARRY OUT THE PROJECT IN ACCORDANCE WITH CONTRACT DOCUMENTS. WJE SHALL NOT HAVE CONTROL OVER OR CHARGE OF ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS, OR THEIR AGENTS OR EMPLOYEES, OR OF ANY OTHER NON-WJE PERSONS PERFORMING PORTIONS OF THE PROJECT.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL JOB SAFETY DURING THE EXECUTION OF THE DEFINED SCOPE OF WORK.
- DO NOT STOCKPILE CONSTRUCTION MATERIAL IN A MANNER THAT WILL OVERLOAD OR EXCEED THE CAPACITY OF THE STRUCTURAL MEMBERS.
- CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR THE PROTECTION AND SAFEKEEPING OF PRODUCTS STORED ON PREMISES PER THE SPECIFICATIONS AND MANUFACTURER'S REQUIREMENTS. CONTRACTOR SHALL MOVE ANY STORED MATERIAL OR PRODUCTS WHICH INTERFERE WITH OPERATIONS OF THE OWNER. CONTRACTOR SHALL STORE MATERIAL ONLY IN AREAS PROVIDED BY THE OWNER.
- WATER AND ELECTRICITY MAY BE TAKEN FROM BUILDING FOR CONSTRUCTION PURPOSES ONLY AT AREAS IDENTIFIED ACCEPTABLE BY THE OWNER. TOILET FACILITIES IN BUILDING SHALL NOT BE USED BY THE CONTRACTOR.
- CONTRACTOR SHALL PROVIDE AND MAINTAIN REQUIRED DUST BARRIERS, CANOPIES, BARRICADES, PROTECTION AND WARNING LIGHTS IN GOOD CONDITION UNTIL THE COMPLETION OF THE WORK REQUIRING SUCH PROTECTION AND THEN REMOVE THE SAME. ALL CANOPIES AND BARRICADES SHALL COMPLY WITH FEDERAL, STATE AND LOCAL LAWS AND REGULATIONS.
- THE CONTRACTOR SHALL MAINTAIN PREMISES FREE FROM ACCUMULATION OF WASTE MATERIAL AND RUBBISH.
- THE CONTRACTOR IS TO RETURN AREAS DAMAGED DURING CONSTRUCTION ACTIVITIES TO ORIGINAL OR BETTER CONDITION.
- THE CONTRACTOR SHALL PROTECT GROUNDS AND LANDSCAPING WHEN PERFORMING WORK. THE CONTRACTOR WILL BE RESPONSIBLE FOR DAMAGE TO GROUNDS AND LANDSCAPING AND BE REQUIRED TO REPAIR OR REPLACE AS NECESSARY.
- CONTRACTOR SHALL COMPLY WITH ALL SECURITY PROCEDURES.
- COSTS CAUSED BY ILL-TIMED WORK, DEFECTIVE WORK OR WORK NOT CONFORMING TO THE CONTRACT DOCUMENTS, ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- ENFORCE STRICT DISCIPLINE AND GOOD ORDER AMONG EMPLOYEES. DO NOT EMPLOY UNFIT PERSONS OR PERSONS NOT SKILLED IN THE ASSIGNED TASK.
- WHERE A DETAIL IS SHOWN FOR ONE CONDITION, IT SHALL APPLY FOR ALL LIKE OR SIMILAR CONDITIONS, EVEN THOUGH NOT SPECIFICALLY MARKED ON THE DRAWINGS. IF UNSURE, SUBMIT AN RFI.
- ALL CONSTRUCTION SHALL BE SUBJECT TO REVIEW BY THE CONSULTANT BEFORE IT IS CONCEALED FROM VIEW. COORDINATE EXPECTED REVIEW ITEMS WITH THE CONSULTANT PRIOR TO THE START OF CONSTRUCTION AND PROVIDE REASONABLE NOTIFICATION TO THE CONSULTANT TO ALLOW FOR SUCH REVIEW AS THE WORK PROCEEDS.
- REMOVE AND DISPOSE OF IN A PROPER MANNER ALL EXISTING MATERIAL REMOVED FROM THE BUILDING DURING THE COURSE OF THE WORK ON A DAILY BASIS. REMOVAL AND DISPOSAL SHALL BE SATISFACTORY TO THE CONSULTANT AND OWNER. CONSTRUCTION DEBRIS SHALL BE REMOVED IN A MANNER THAT AVOIDS OVERLOADING STRUCTURAL MEMBERS.
- CONTRACTOR SHALL COORDINATE USE OF PREMISES UNDER THE DIRECTION OF THE OWNER. TEMPORARY DISRUPTIONS TO THE USE OF THE BUILDING BY EMPLOYEES AND PUBLIC, INCLUDING NOISE, DUST AND DISRUPTION OF UTILITIES, SHALL BE COORDINATED A MINIMUM OF 48 HOURS IN ADVANCE AND APPROVED BY THE OWNER. CONTRACTOR WORK NOT COORDINATED IN ADVANCE WHICH CAUSES DISRUPTIONS TO THE USE OF THE BUILDING BY EMPLOYEES AND PUBLIC MAY BE STOPPED BY THE OWNER AND SHALL NOT BE COMMENCED AGAIN UNTIL PROPER COORDINATION IS ACHIEVED. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS RESULTING FROM WORK STOPPAGES OR DELAYS CAUSED BY CONTRACTORS LACK OF COORDINATION WITH THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE WATER TIGHTNESS OF THE AREAS OF THE STRUCTURE BEING WORKED ON DURING THE COURSE OF THE WORK. PROVIDE TEMPORARY PROTECTION OF THE EXISTING CONSTRUCTION FROM THE WEATHER UNTIL REMOVED PORTIONS ARE COMPLETELY REPLACE WITH NEW CONSTRUCTION. THE COST OF DAMAGE AND REPAIRS SHALL BE MADE AT NO COST TO THE OWNER.
- THESE DRAWINGS AND SPECIFICATIONS APPLY TO THE PROJECT IDENTIFIED IN THE TITLEBLOCK ONLY AND SHALL NOT BE USED FOR ANY OTHER PURPOSE WITHOUT THE EXPRESSED WRITTEN CONSENT OF WJE.
- IN THE EVENT OF CONFLICT BETWEEN THE DRAWINGS AND THE SPECIFICATIONS, THE MORE STRINGENT REQUIREMENT AND BETTER QUALITY SHALL GOVERN UNLESS WRITTEN NOTIFICATION IS PROVIDED BY THE CONSULTANT.
- COVER OR PLUG ROOF DRAINS DURING DAILY CONSTRUCTION TO PREVENT DEBRIS FROM FALLING INTO DRAINS. REMOVE STOPS OR BLOCKAGE PRIOR TO RAIN AND AT THE END OF THE DAY TO PERMIT FREE FLOW OF DRAINS. AT END OF PROJECT, CONTRACTOR SHALL FLUSH DRAINS WITH WATER TO ENSURE FREE FLOW OF THE DRAINS.



**Project Location**

### Index to Drawings:

R000	COVER SHEET & GENERAL NOTES
R100	ROOF PLAN
R500	ROOF DETAILS
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R502	ROOF DETAILS
R503	ROOF DETAILS

### Abbreviations:

CONT	CONTINUOUS
(E)	EXISTING
EA	EACH
FRT	FIRE RETARDANT TREATED
FV	FIELD VERIFY
IT, WT.	LIGHT WEIGHT INSULATING FILL
MAX	MAXIMUM
MFR	MANUFACTURER
MIN	MINIMUM
(N)	NEW
NTS	NOT TO SCALE
OC	ON CENTER
POLYISO	POLYISOCYANURATE
RE	REFER TO
REF	REFERENCE
REQD	REQUIRED
RTU	ROOF TOP UNIT
SIM	SIMILAR
TERM	TERMINATION
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
W	WITH

### Applicable Codes:

- 2018 INTERNATIONAL EXISTING BUILDING CODE
- 2018 INTERNATIONAL BUILDING CODE
- 2018 INTERNATIONAL ENERGY CONSERVATION CODE
- 2018 INTERNATIONAL MECHANICAL CODE
- 2018 INTERNATIONAL PLUMBING CODE

Design Criteria:  
Wind Speed: 136 mph  $V_{ult}$   
Terrain Classification: Exposure C  
Existing Construction Type: 2B  
Risk Category: II

Consultants

Project

ARVADA CAMPUS  
REROOF

10280 WEST 55TH AVENUE  
ARVADA, COLORADO  
80002

Client

RED ROCKS COMMUNITY  
COLLEGE  
LAKEWOOD, COLORADO

06/24/2020 Constr. Documents

Mark	Date	Description

0 1/2" 1" 2"  
THIS SHEET PLOTS FULL SIZE  
AT 24x36 (INCHES)

Project No. 2019.1483.2

Date 06/24/2020

Drawn dds

Checked srs

Scale AS INDICATED

COVER SHEET &  
GENERAL NOTES

Sheet Title

Sheet No.

**R000**

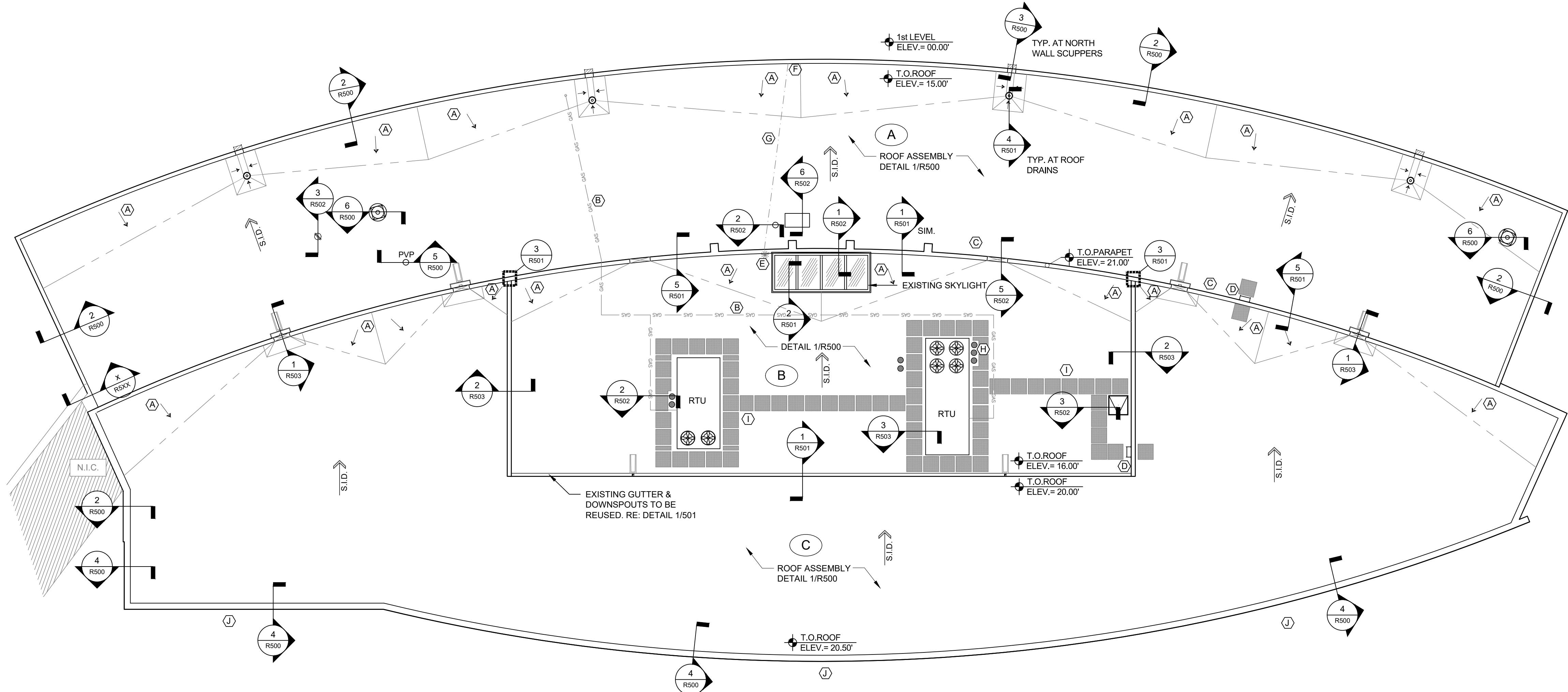
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Plotter: 7/16/2020 3:52 PM by Struc. Date File Name: P:\2019\2019.Lxxx\2019.1483.2 - 5420 MILLER STREET (DD5).Drawings\Roof\Plan.dwg

ROOF SYSTEM WIND RESISTANT ZONES					
ZONE	TYPE	PERIMETER ZONE WIDTH	WIND SPEED (Vult)	FACTORED UPLIFT	SERVICE LEVEL UPLIFT
I	FIELD	15 FEET	136 MPH	62 PSF	37 PSF
II	PERIMETER			82 PSF	49 PSF
III	CORNER			122 PSF	67 PSF

NOTE: BASIS OF DESIGN IS ASCE 7-16



1 ROOF PLAN  
SCALE: 3/32" = 1'-0"

- KEYNOTES**
- (A) EXISTING TAPERED CRICKETS TO REMAIN. REPLACE IF WET OR DETERIORATED.
  - (B) PAINT GAS LINES SAFETY YELLOW
  - (C) REMOVE AND DISCARD WOOD STEPS
  - (D) INSTALL NEW MANUFACTURED WALL LADDERS. THE NEW LADDERS SHALL MEET THE REQUIREMENTS OF THE 2018 INTERNATIONAL MECHANICAL CODE 306.5
  - (E) EXISTING LIGHTNING ARREST ARRAY TO REMAIN. CONTRACTOR SHALL PROVIDE CERTIFIED LIGHTNING PROTECTION CONTRACTOR TO REMOVE AS REQUIRED TO ALLOW FOR INSTALLATION OF THE NEW ROOFING. IF REMOVAL IS NECESSARY, LIGHTNING EQUIPMENT SHALL BE RE-CERTIFIED BY LIGHTNING PROTECTION CONTRACTOR
  - (F) LIGHTNING ARREST GROUND TERMINAL. DISCONNECT AND RECONNECT AS REQUIRED TO ALLOW FOR INSTALLATION OF NEW ROOFING.
  - (G) SECURE EXISTING LIGHTNING PROTECTION GROUND CABLE WITH CABLE ATTACHMENT PLATES TO THE NEW ROOF MEMBRANE WITH MANUFACTURER'S APPROVED SEALANT.
  - (H) ROOFING CONTRACTOR SHALL PROVIDE A LICENSED ELECTRICIAN TO REPLACE EXISTING FLEXIBLE CONDUITS PENETRATING THROUGH THE ROOF WITH NEW RIGID CONDUIT.
  - (I) NEW MANUFACTURER'S WALK PADS.
  - (J) CONTRACTOR TO PROVIDE LICENSED AND EXPERIENCED WINDOW/CURTAINWALL CONTRACTOR TO REMOVE AND REINSTALL EXISTING ALUMINUM COPING AT THE TOP OF THE SOUTH CURTAINWALL.

- LEGEND**
- X# - ROOF IDENTIFICATION
  - GAS --- GAS LINE
  - ELECTRICAL CONDUIT
  - S.I.D. - DIRECTION OF SLOPE (SLOPE IN DECK)
  - ROOF DRAIN
  - THROUGH-WALL SCUPPER
  - PVP - PLUMBING VENT PIPE
  - - GAS OR VENT PIPE
  - - HEAT FLUE VENT PIPE
  - - CONDUIT / PIPE
  - - PITCH PAN
  - - EXHAUSTER
  - RTU - ROOF TOP UNIT UNIT
  - ▭ - ROOF HATCH
  - ▭ - CONCRETE SPLASH BLOCK
  - ⚡ - LIGHTNING ARREST ARRAY

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Project

**ARVADA CAMPUS  
REROOF**

10280 WEST 55TH AVENUE  
ARVADA, COLORADO  
80002

Client

**RED ROCKS COMMUNITY  
COLLEGE**

LAKWOOD, COLORADO

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	06/24/2020	Constr. Documents

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Date 06/24/2020  
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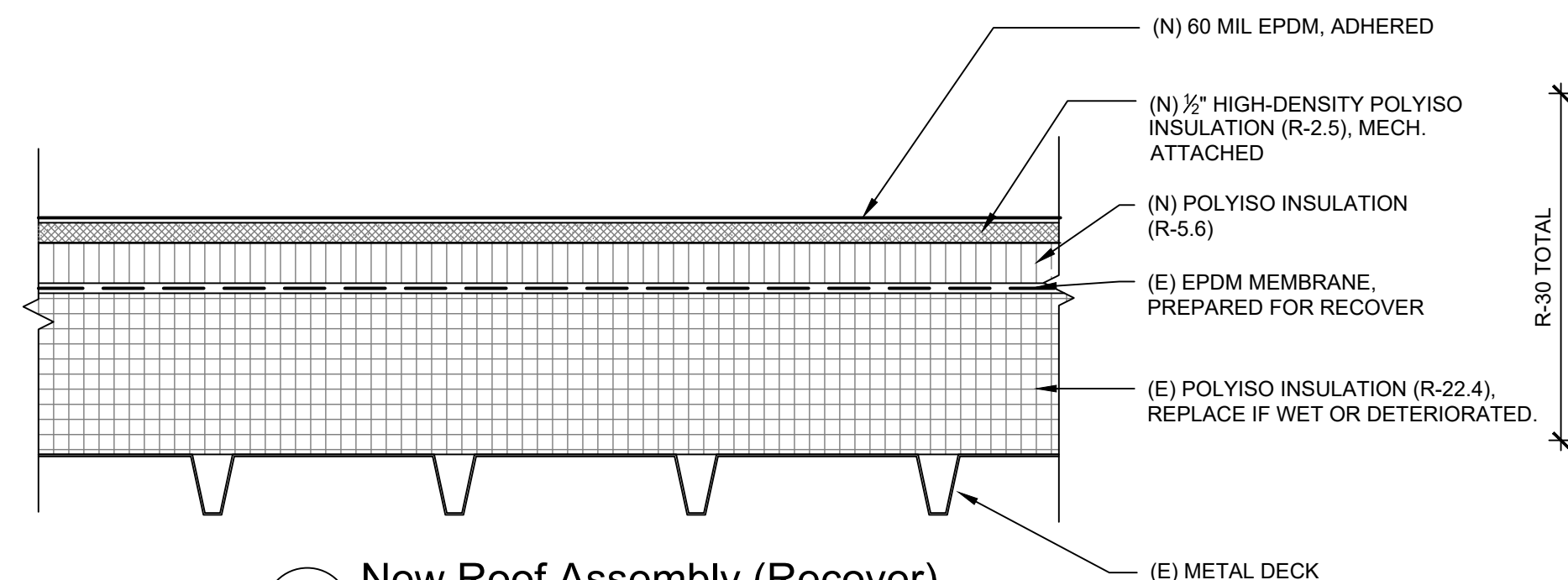
**ROOF PLAN**

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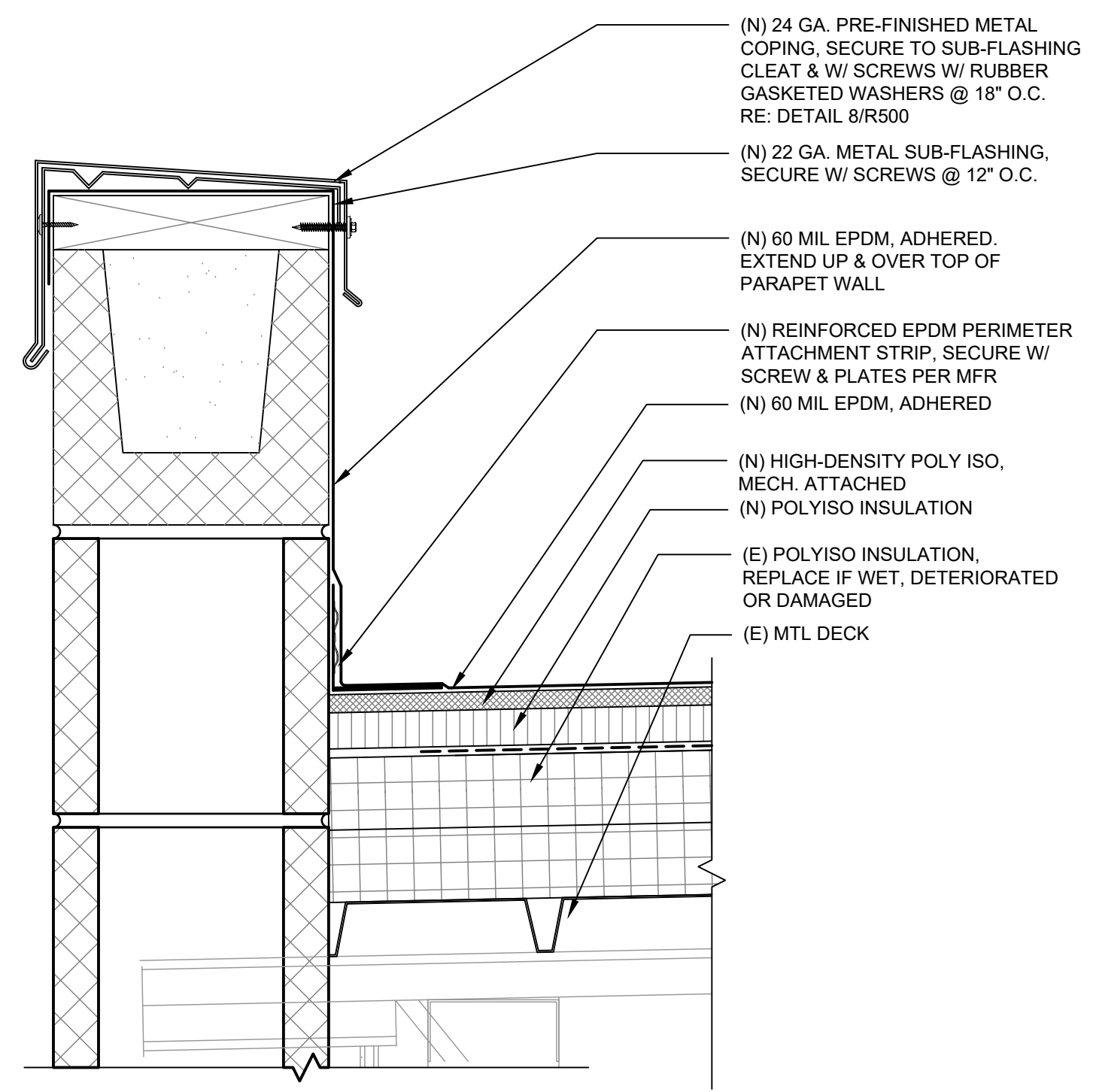
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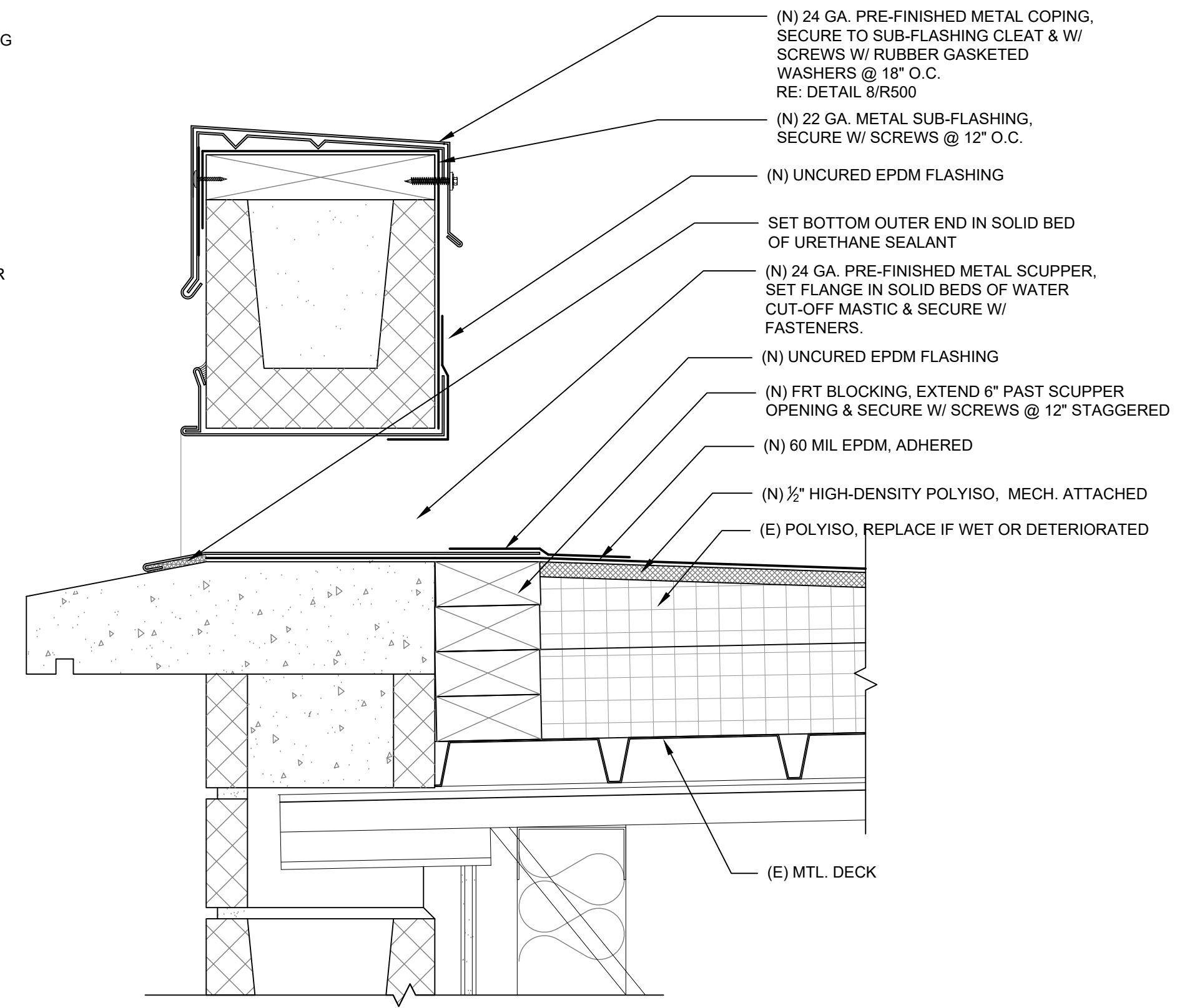
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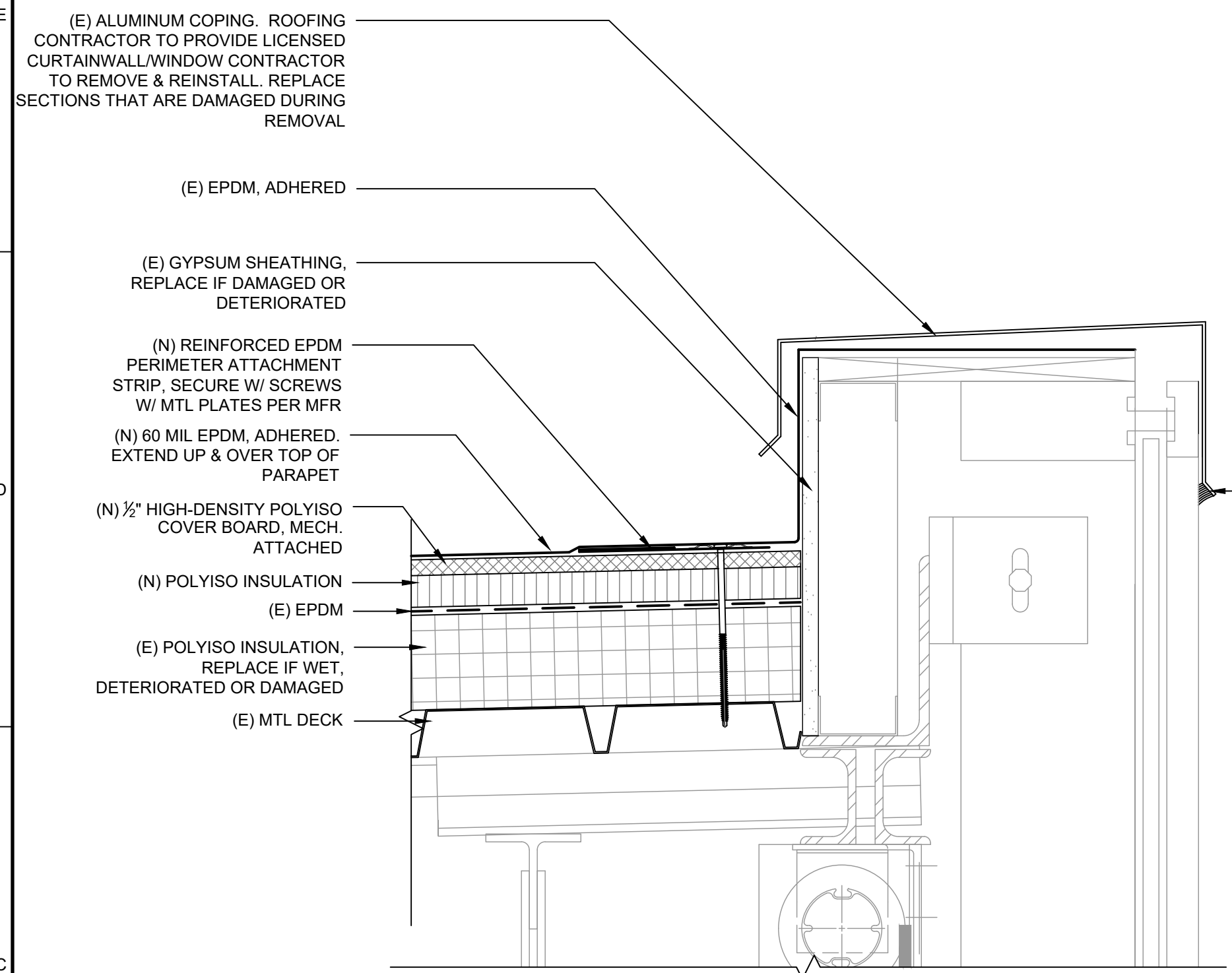
**1 New Roof Assembly (Recover)**  
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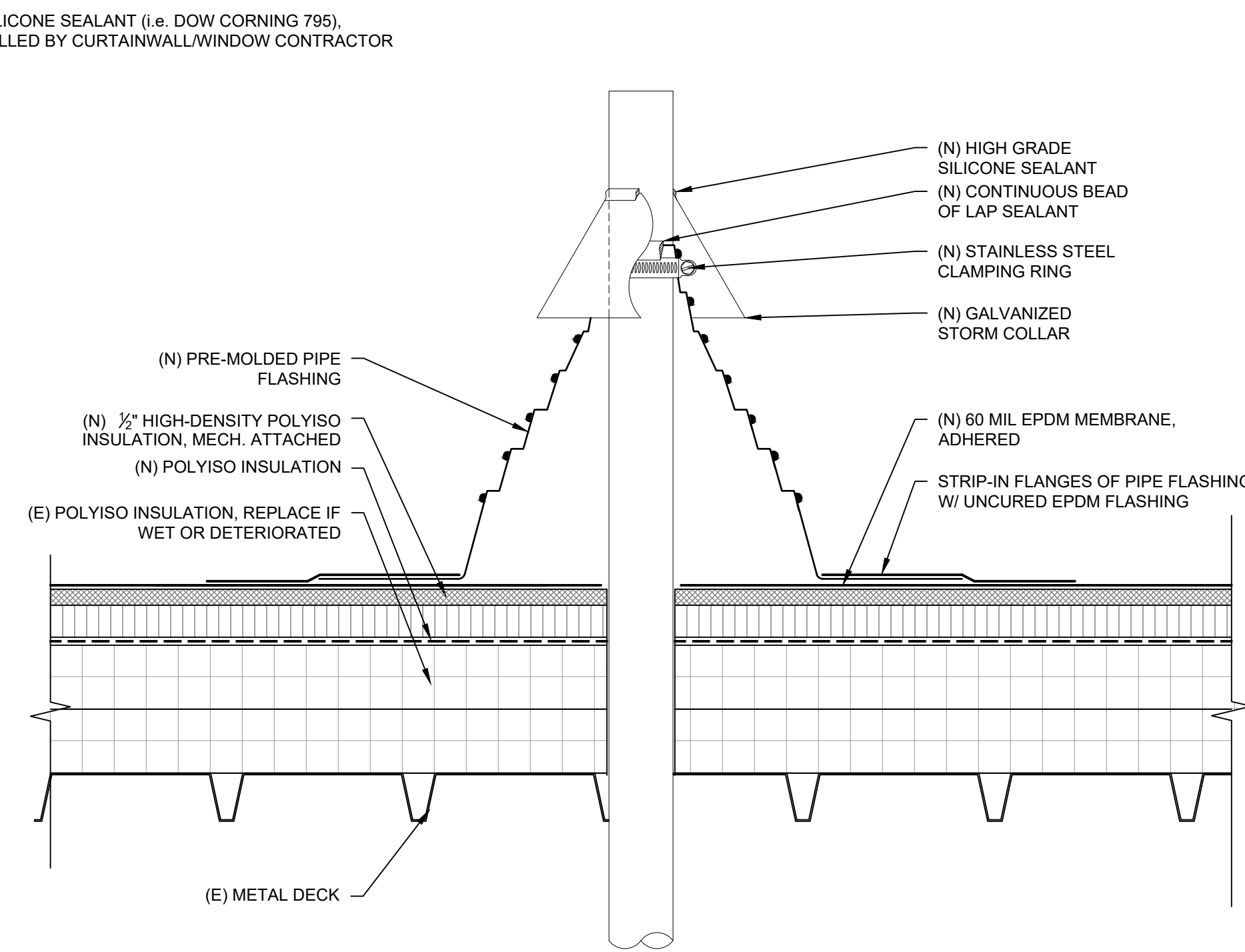
**2 Parapet Wall Detail**  
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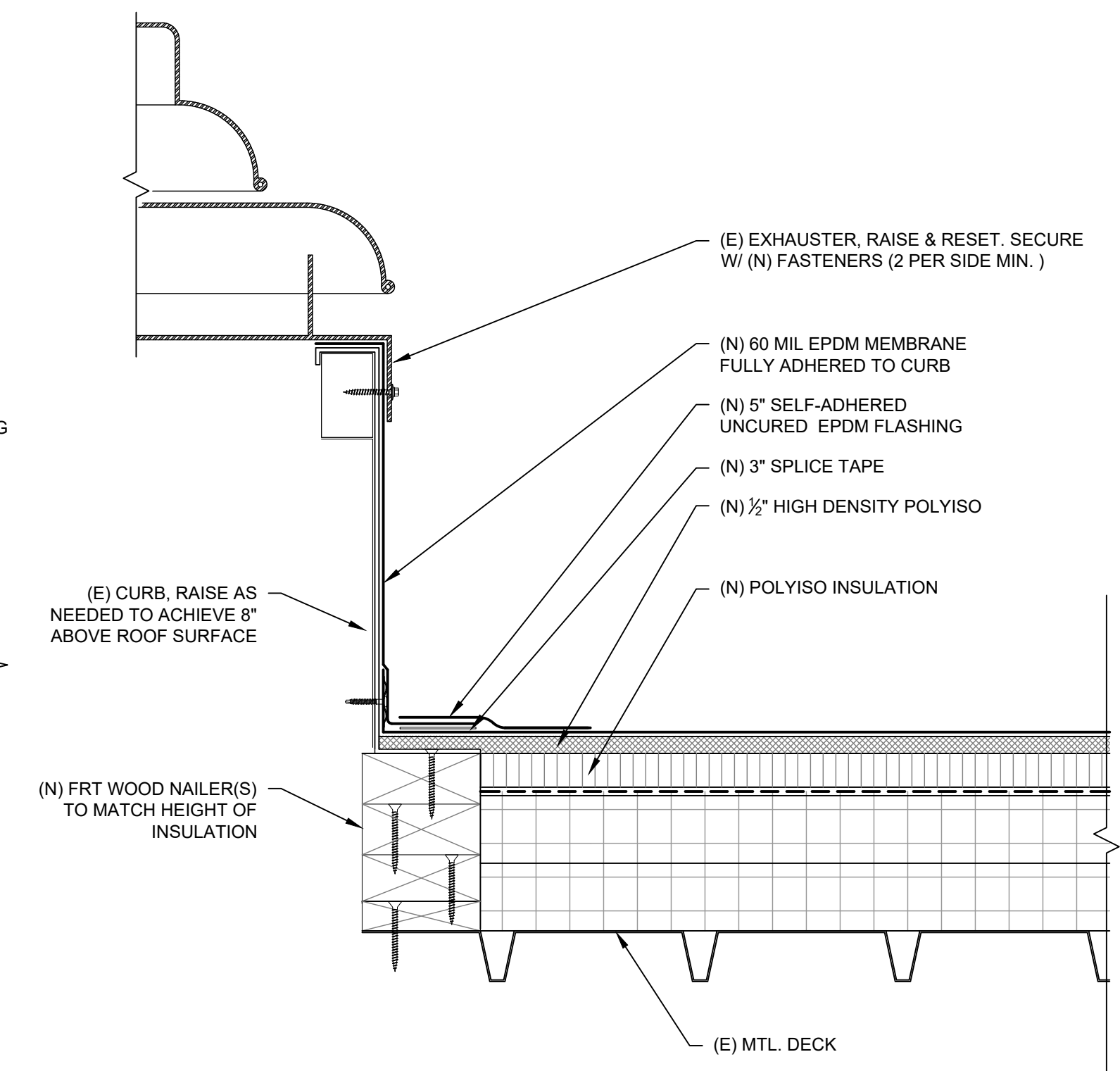
**3 Overflow Scupper Detail**  
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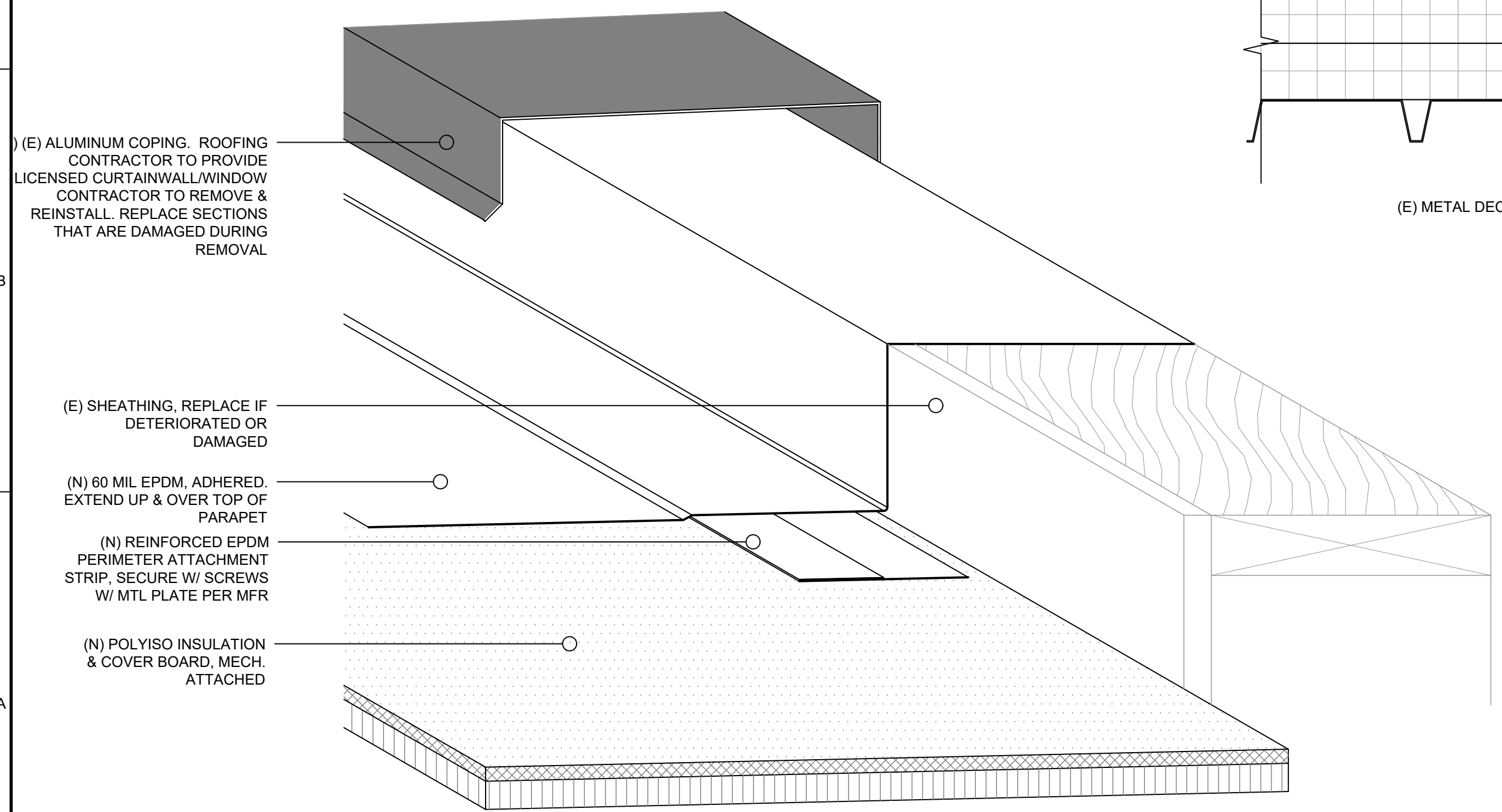
**4 Parapet Wall Detail @ Curtain Wall**  
SCALE: 3" = 1'-0"



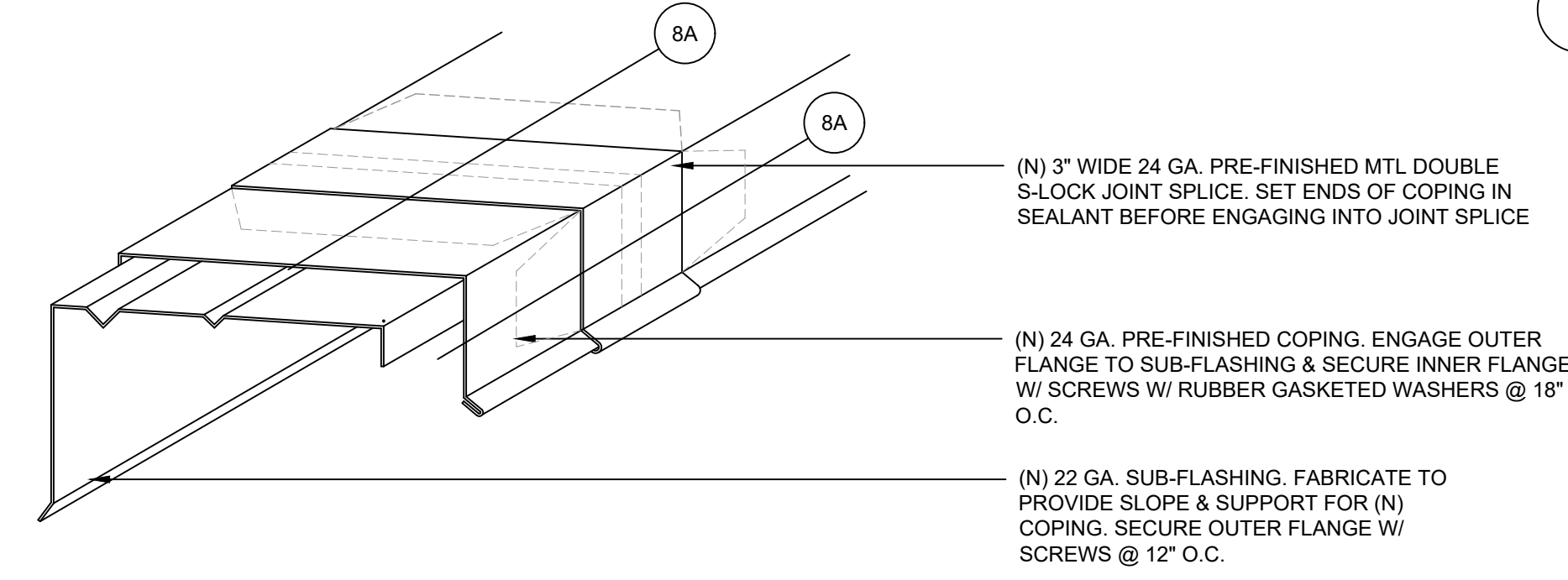
**5 Pipe Flashing Detail**  
SCALE: 3" = 1'-0"



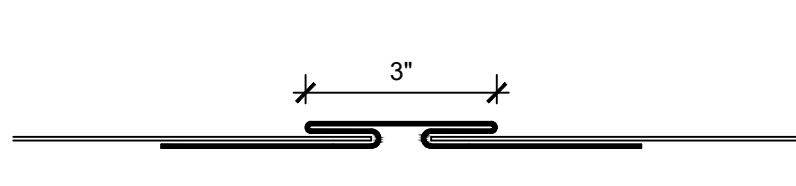
**6 Exhauster Fan Detail**  
SCALE: 3" = 1'-0"



**7 Parapet Wall Detail @ Curtain Wall (Isometric)**  
SCALE: 3" = 1'-0"



**8 NEW COPING SYSTEM**  
SCALE: N.T.S.



**DOUBLE S-LOCK JOINT SPLICE PROFILE**  
SCALE: N.T.S.

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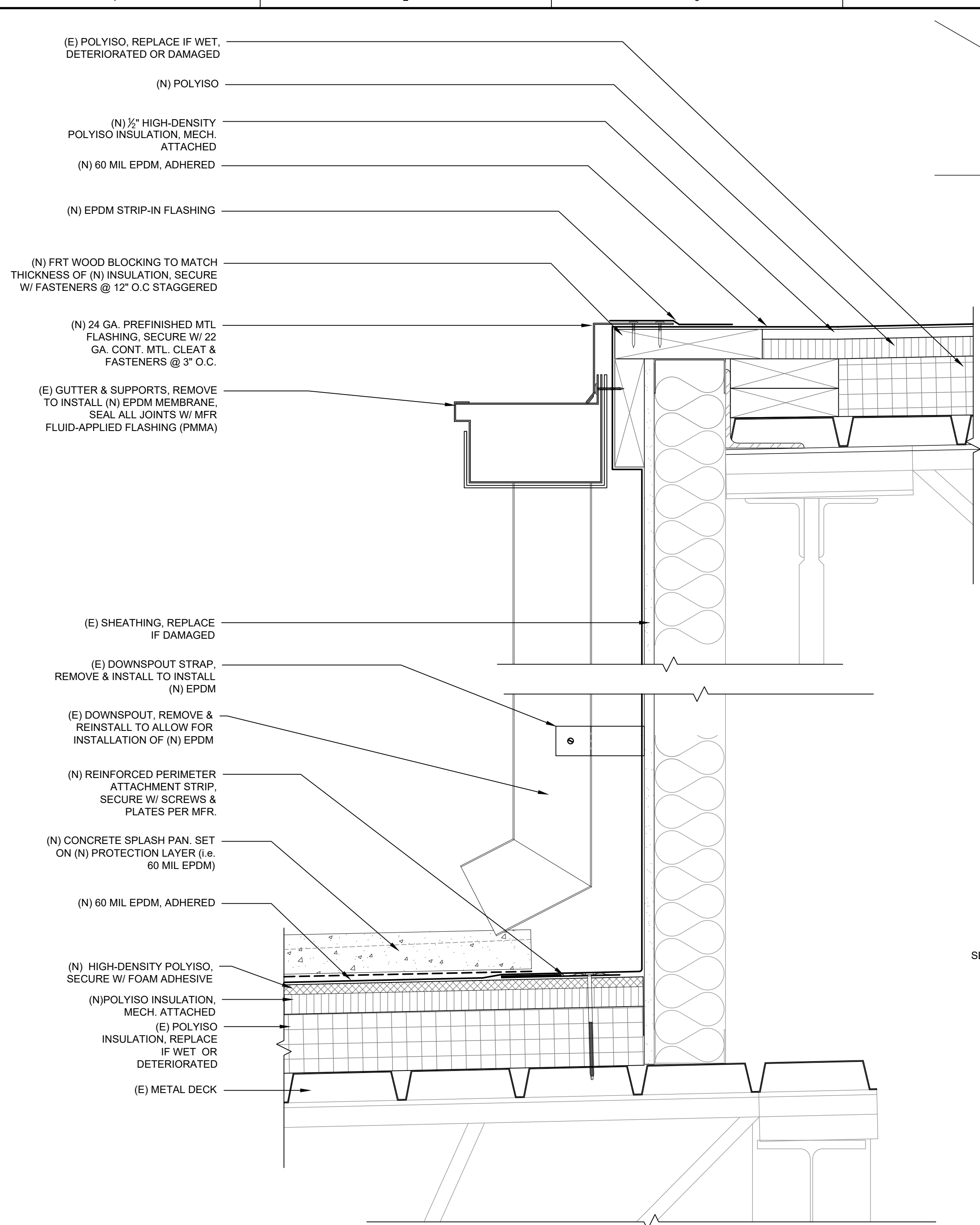
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**ROOF DETAILS**

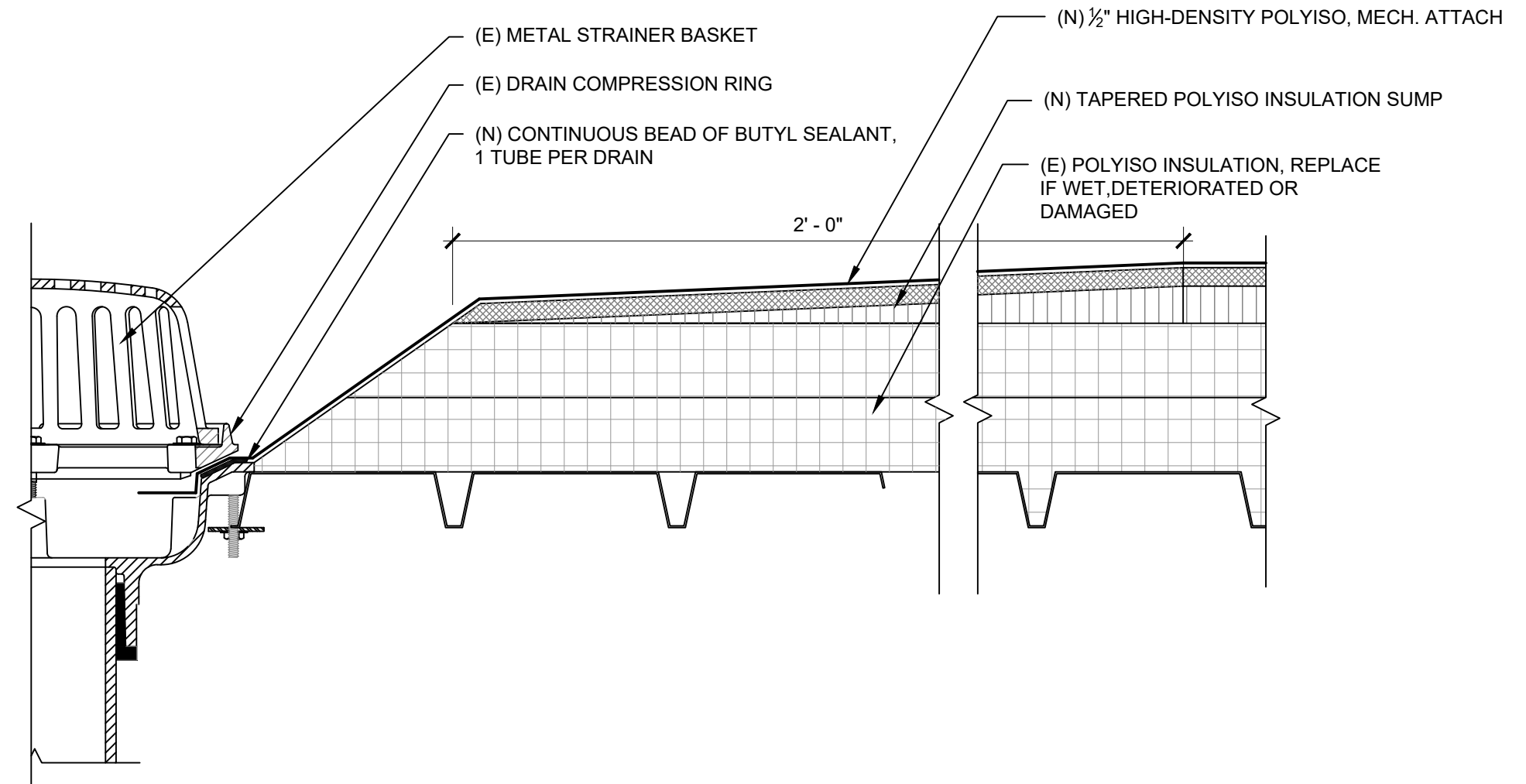
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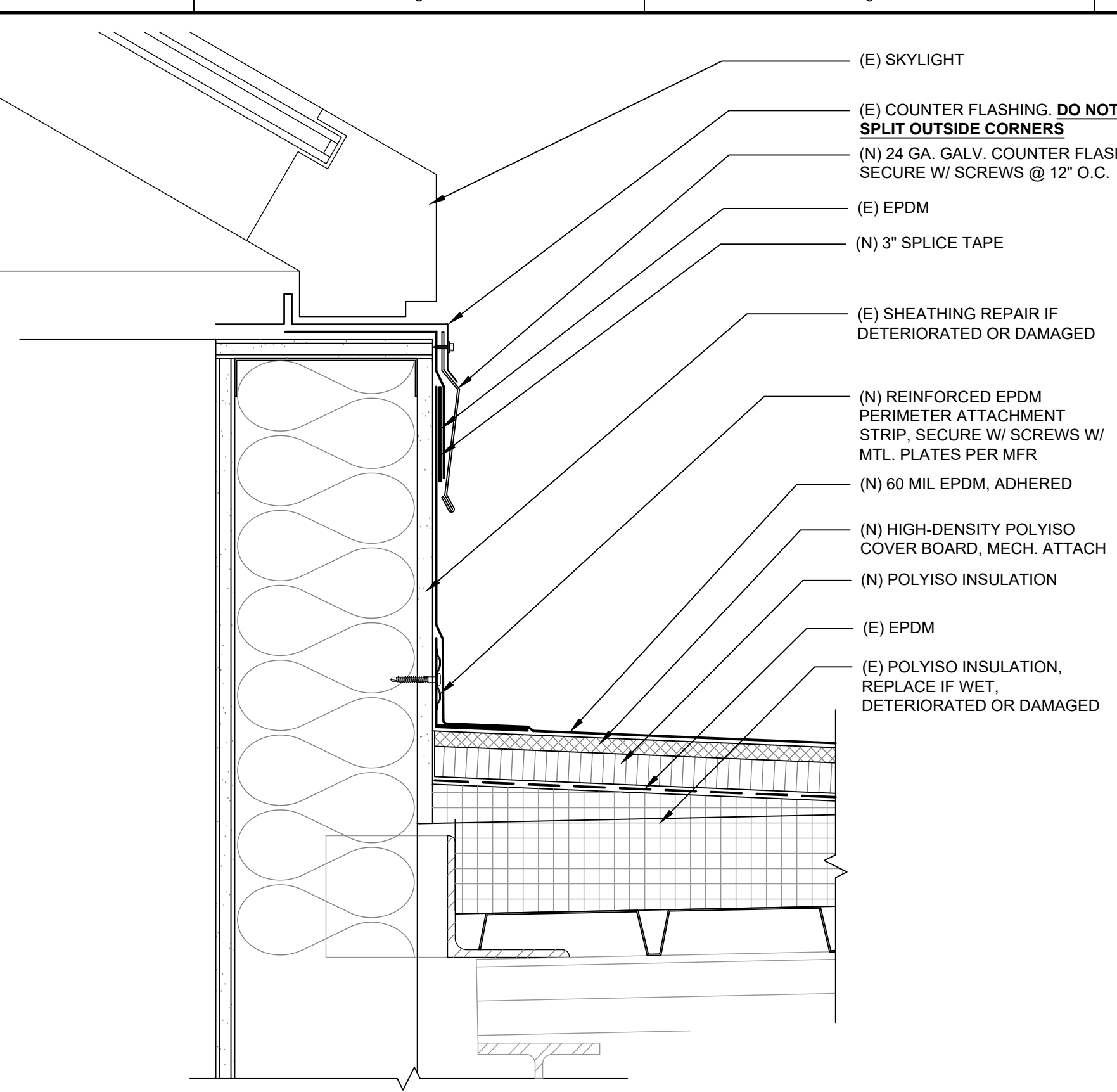
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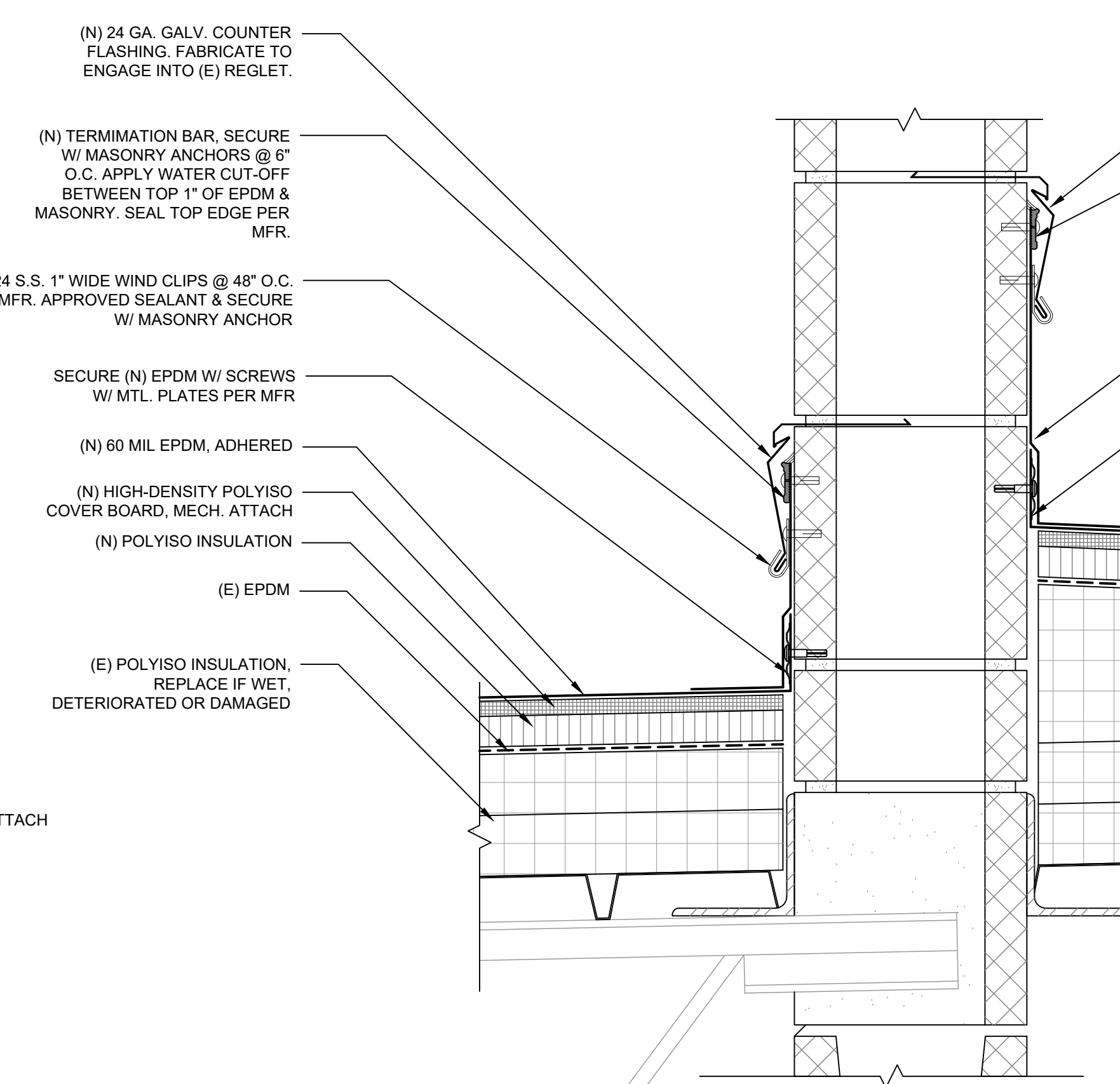
**1 Wall/Gutter Detail**  
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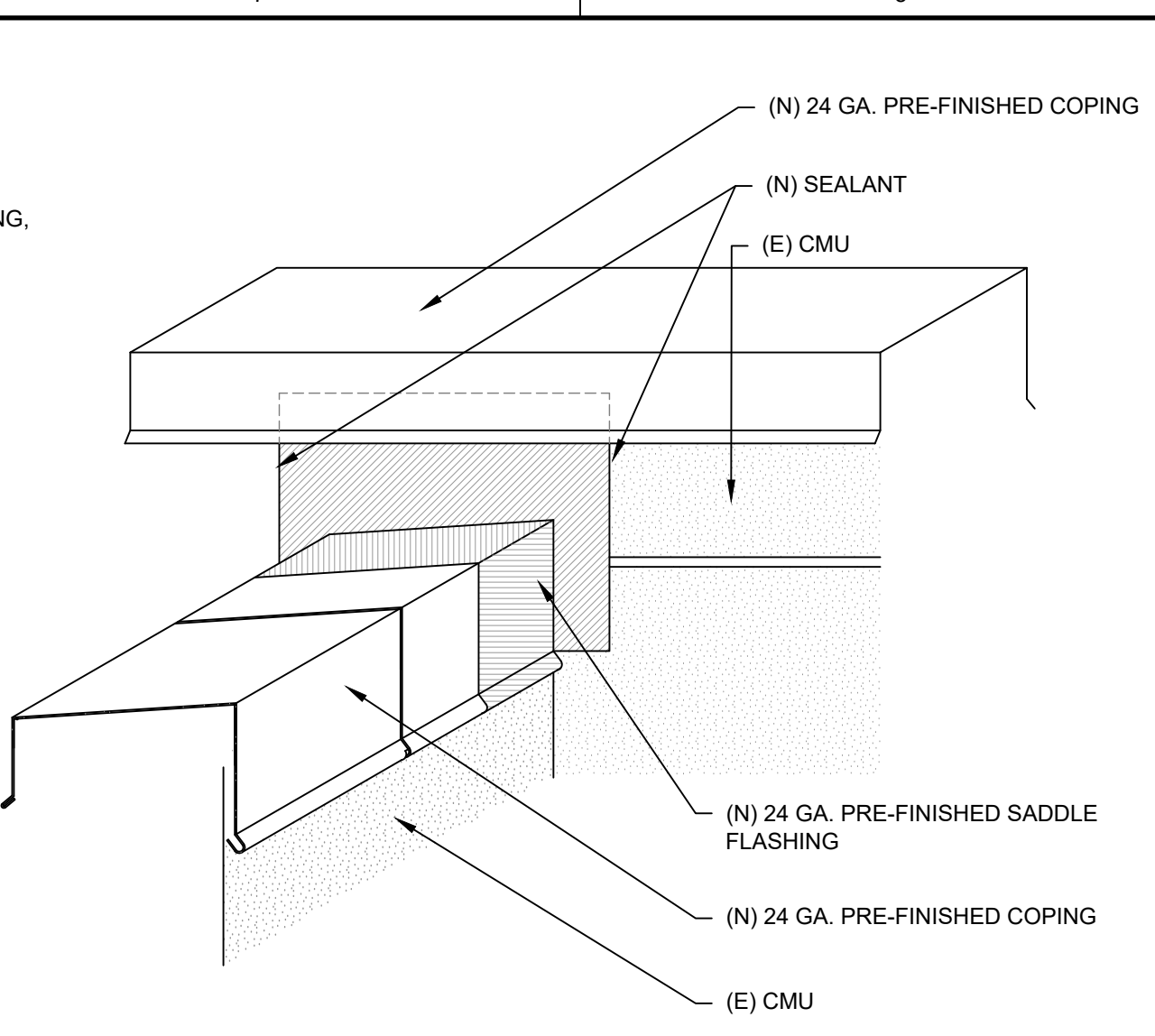
**4 Roof Drain Detail**  
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**2 Wall Flashing Detail @ Skylight**  
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**5 Wall Flashing Detail**  
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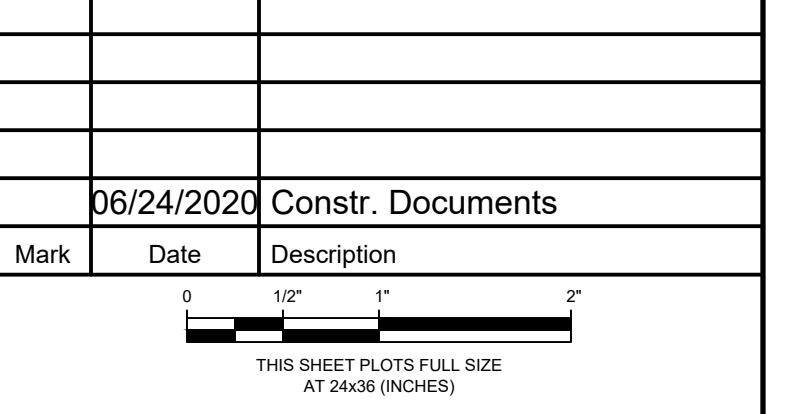
**3 Parapet Intersection Detail**  
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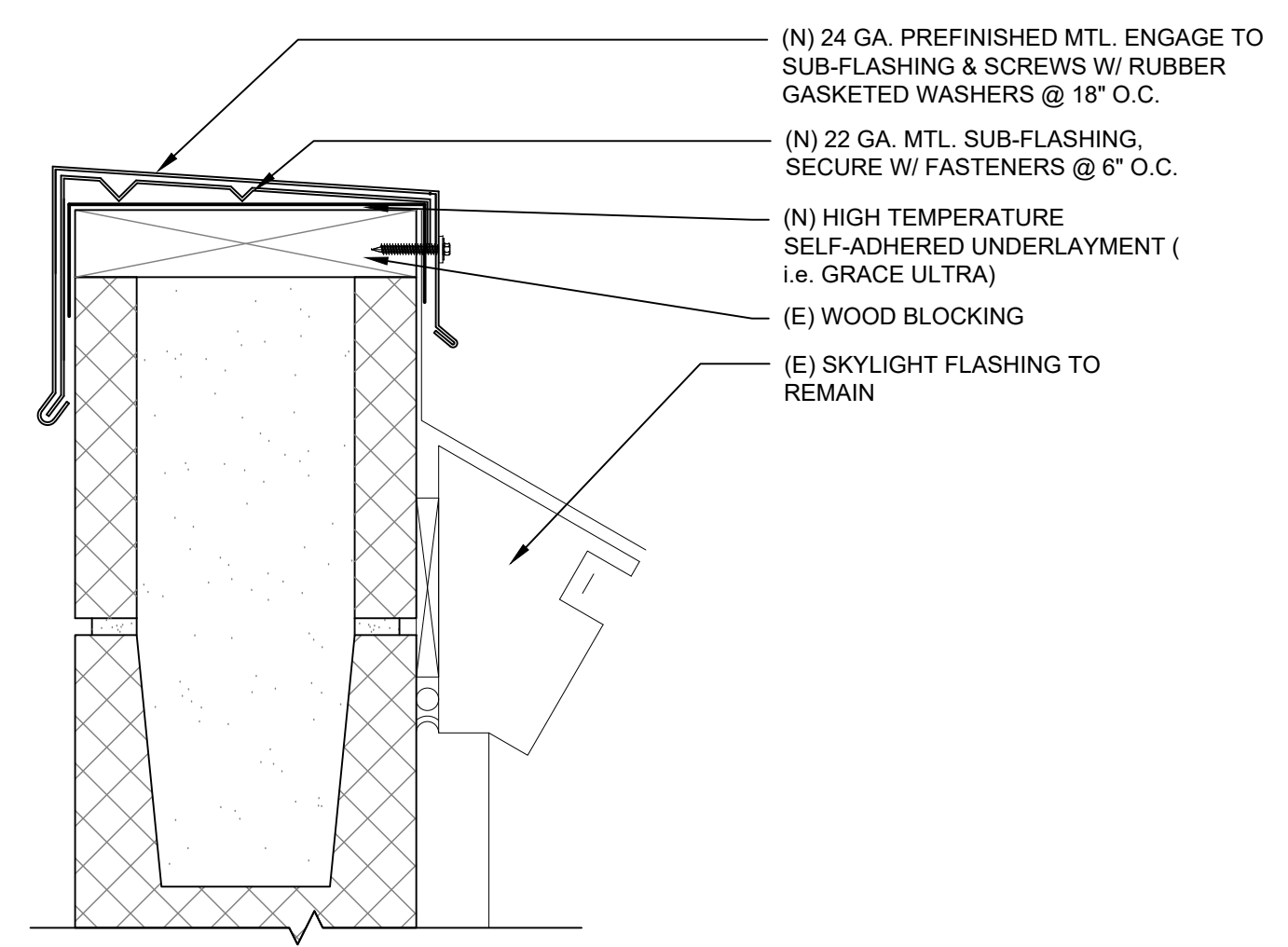


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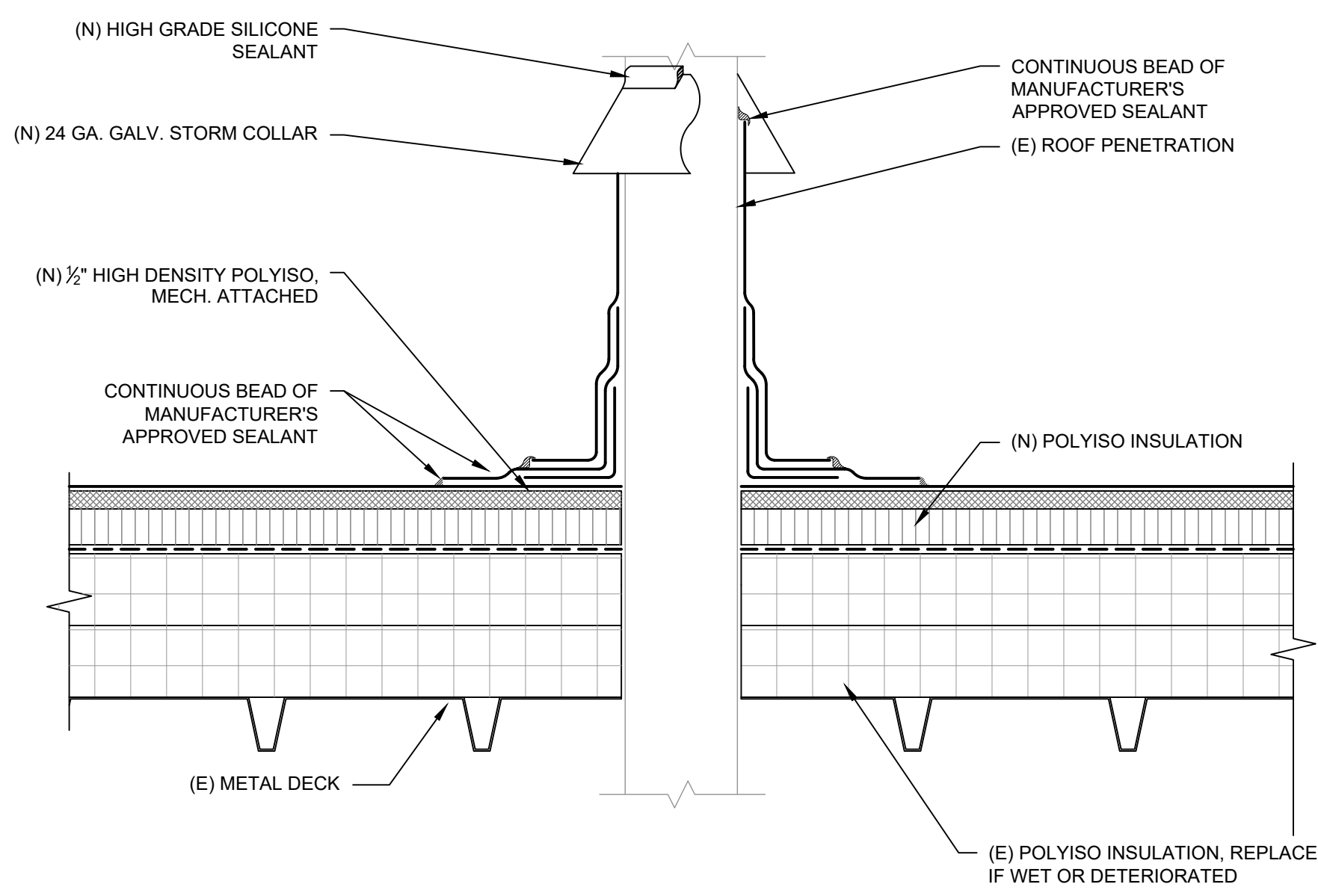
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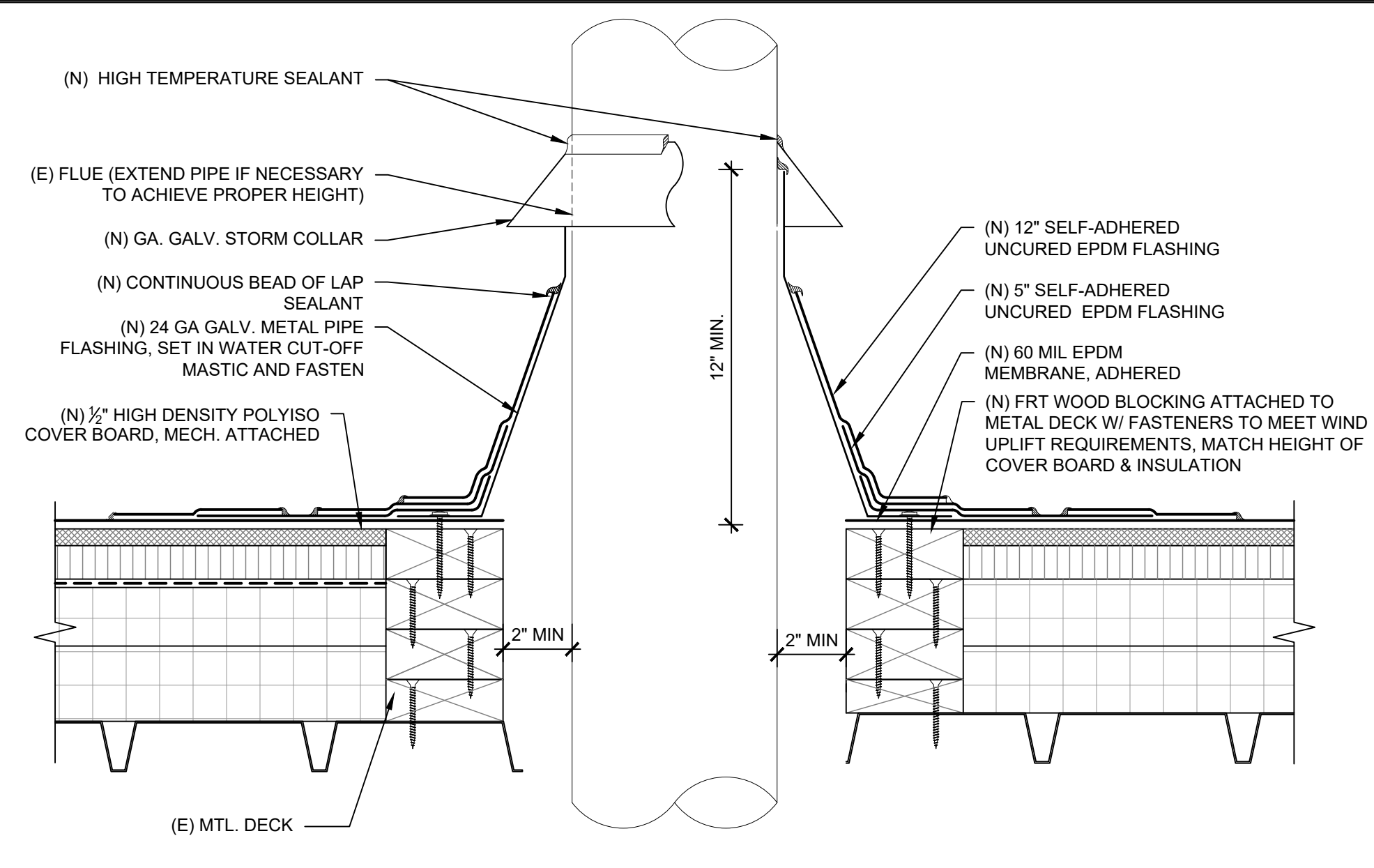
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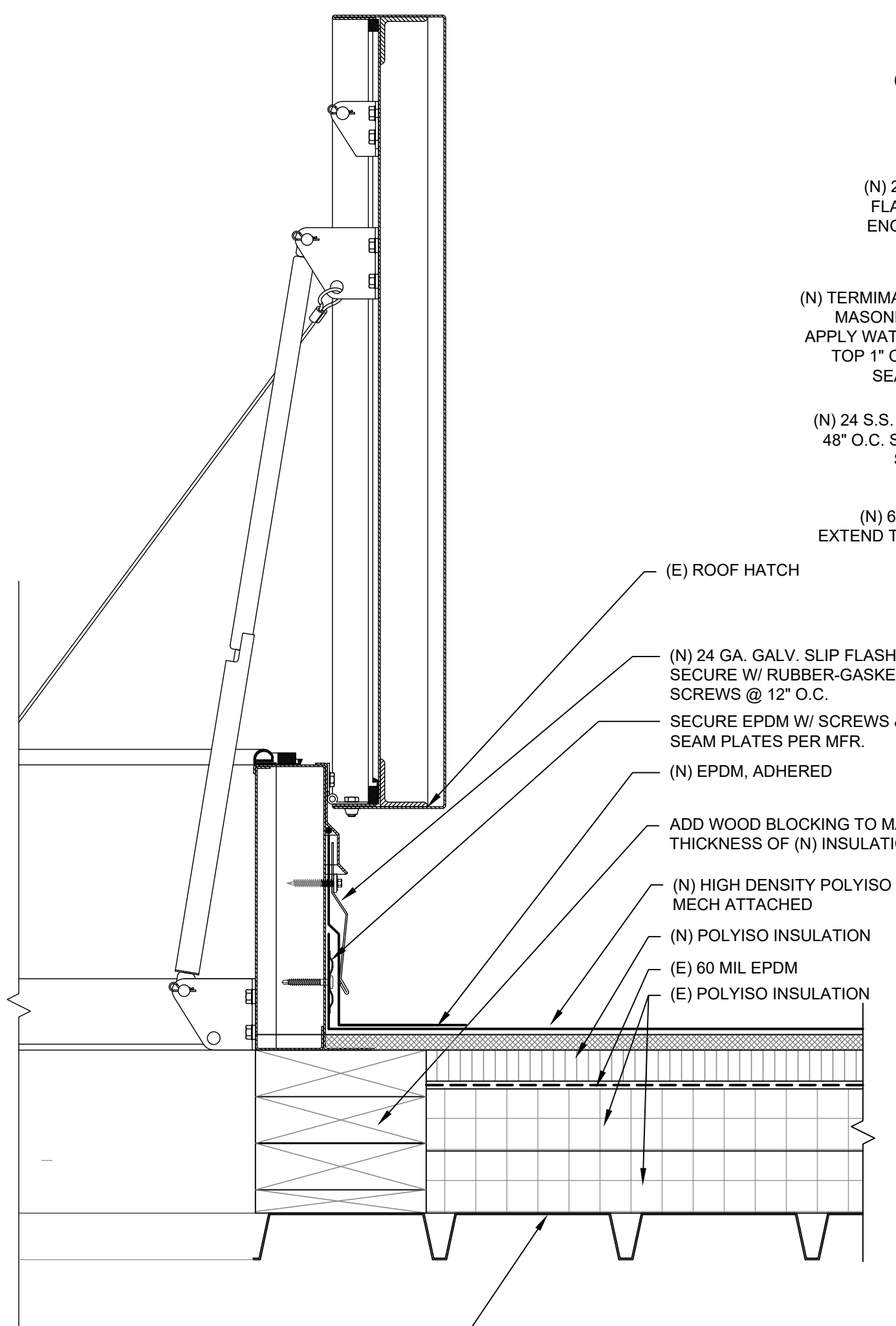
**1 New Roof Assembly**  
SCALE: 3" = 1'-0"



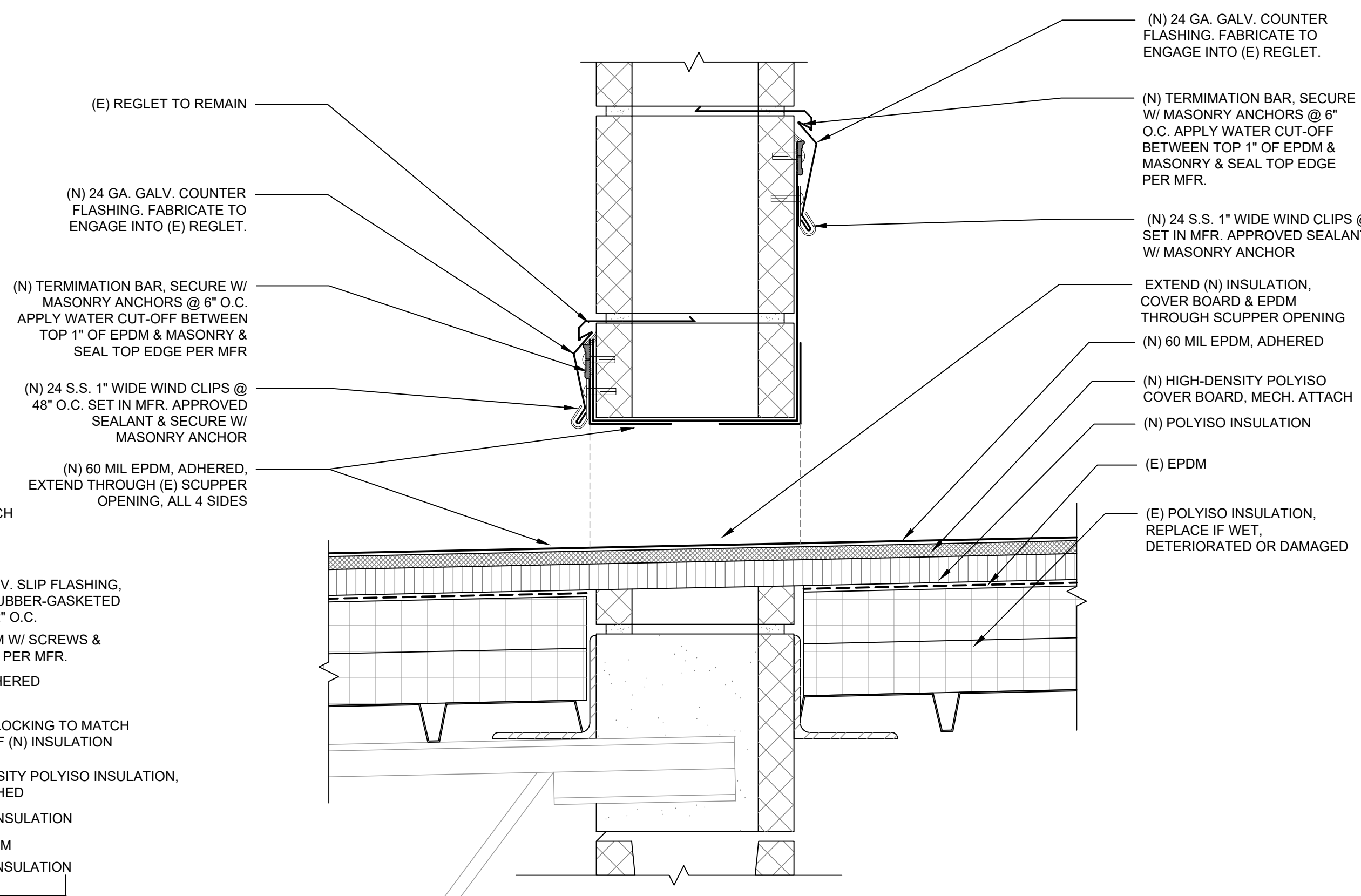
**2 Pipe/Conduit Flashing Detail**  
SCALE: 3" = 1'-0"



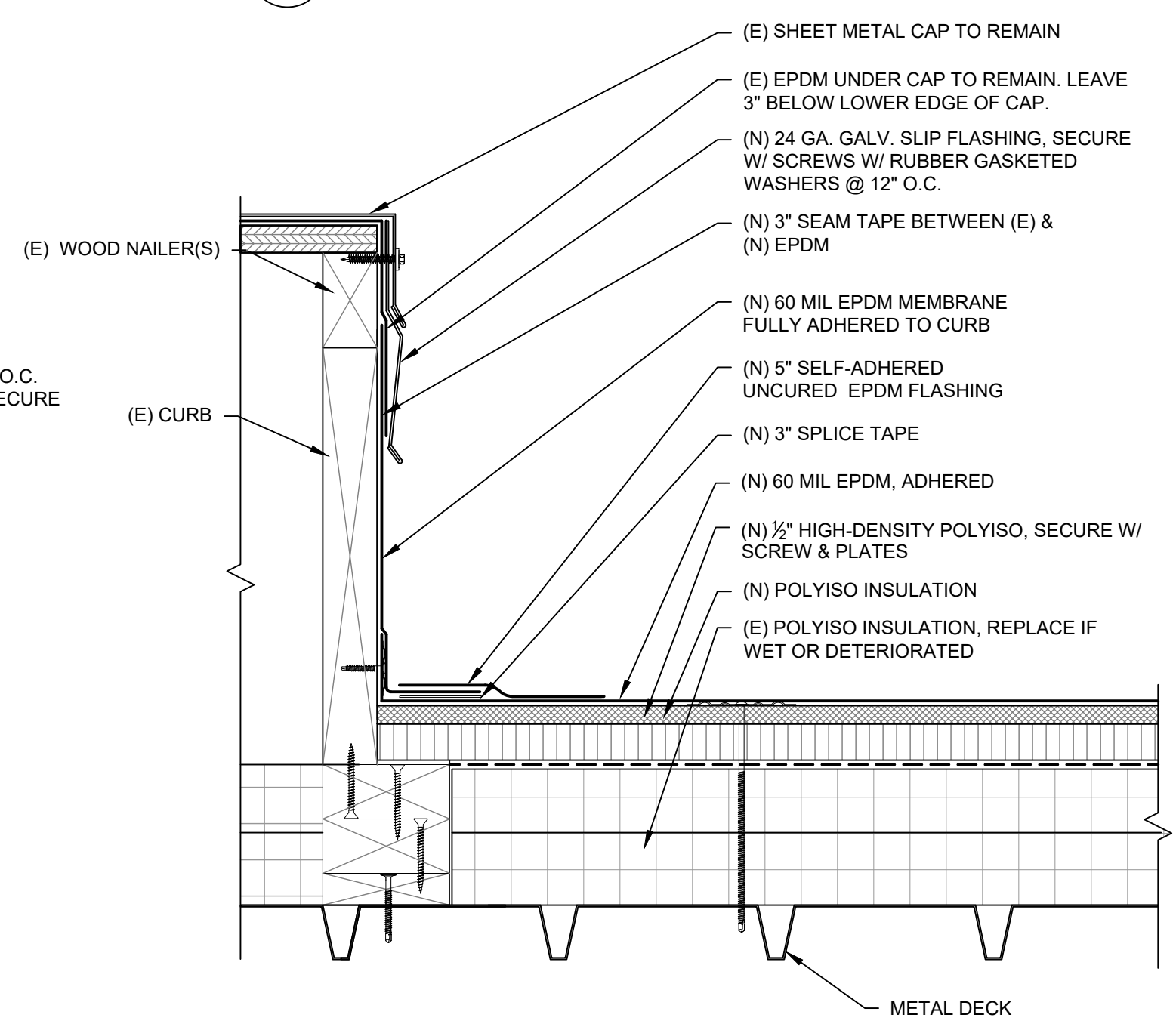
**3 Vent Pipe Flashing Detail (HOT)**  
SCALE: 3" = 1'-0"



**4 Roof Hatch Detail**  
SCALE: 3" = 1'-0"



**5 Thru-Wall Scupper Detail**  
SCALE: 3" = 1'-0"



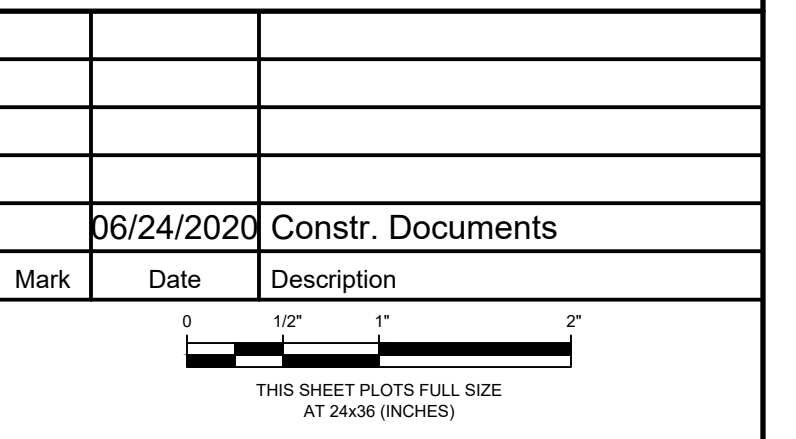
**6 A/C Curb Detail**  
SCALE: 3" = 1'-0"

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Consultants  
 Project  
**ARVADA CAMPUS REROOF**  
 10280 WEST 55TH AVENUE  
 ARVADA, COLORADO 80002

Client  
**RED ROCKS COMMUNITY COLLEGE**  
 LAKEWOOD, COLORADO

Mark	Date	Description
	06/24/2020	Constr. Documents



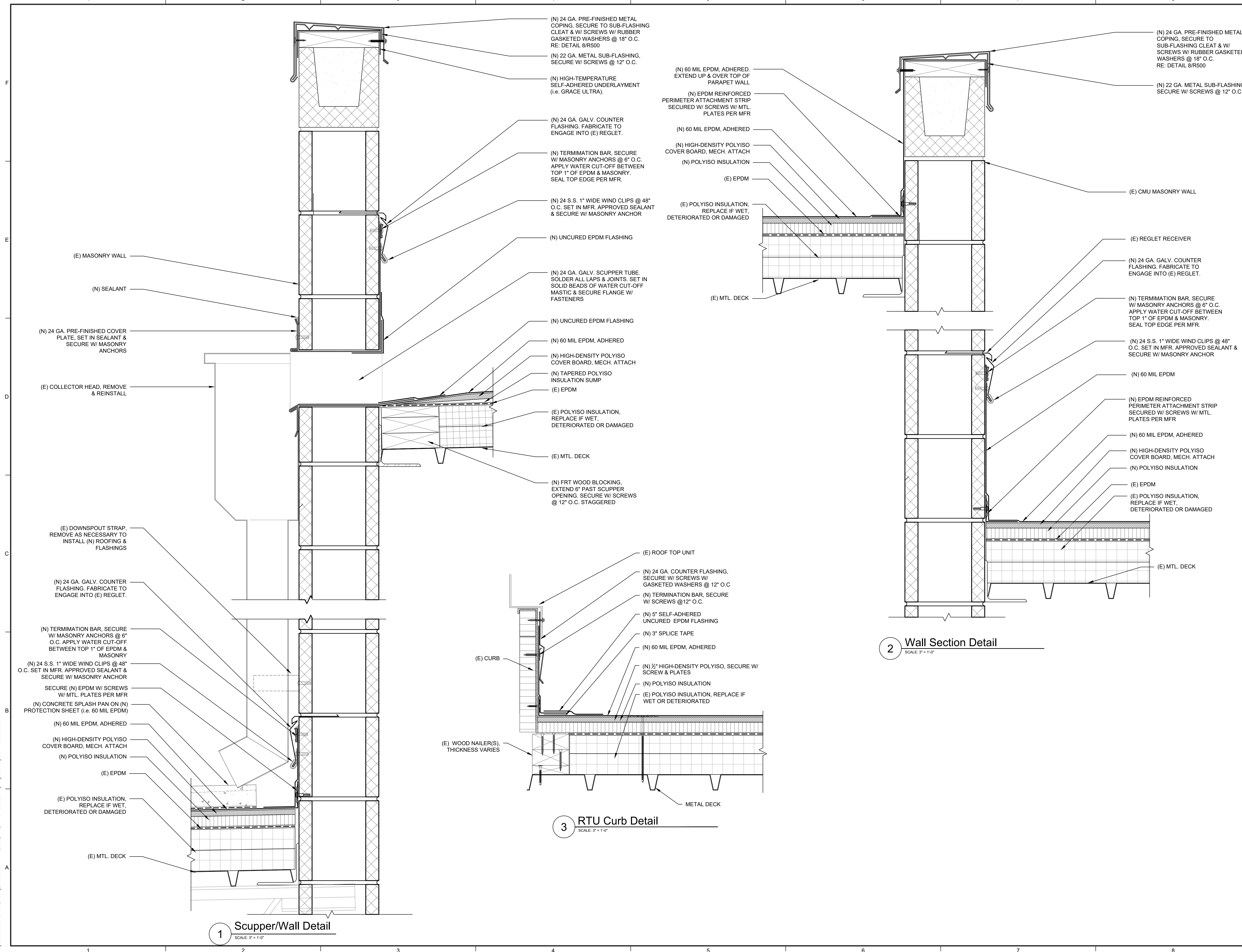
Project No. 2019.1483.2  
 Date 06/24/2020  
 Drawn dds  
 Checked sfs  
 Scale AS INDICATED

**ROOF DETAILS**  
 Sheet Title  
**R502**  
 Sheet No.

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Plotted: 7/16/2020 3:57 PM by Strutt, Dale File Name: F:\2019\2019\_1483\_2 - ARVADA CAMPUS REROOF (DDS) Drawings\Arvada Roof Details.dwg

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LAKWOOD, COLORADO

Mark	Date	Description
	06/24/2020	Constr. Docs

0 1/2" 1" 2"  
THIS SHEET PLOTS FULL SIZE AT 24x36 (INCHES)

Project No. 2019.1483.2  
Date 06/24/2020  
Drawn dds  
Checked srs  
Scale AS INDICATED

**ROOF DETAILS**

Sheet Title

Sheet No. **R503**